

**USD 320-Phase 1-Bid Package 3- 2017 Summer
Work**

Addendum 3

Issue Date: 4-13-17

Architect: BBN Architects Inc.

MEP: Orazem & Scalora Engineering, P.A.

Construction Manager: Coonrod & Associates Construction Co., Inc.

Owner: USD 320 Wamego

The attached documents and / or items below shall hereby become part of the Construction Documents for the referenced project above.

General Conditions

ADD 3-1: Replace entire specification section 012300-Alternates with the attached specification section 012300-Alternates.

Architectural Plans / Specifications

ADD 3-2: Replace entire specification section 070150-Preparation for Re-Roofing with the attached specification section 070150-Preparation for Re-Roofing.

ADD 3-3: Replace entire sheet A701- Flooring Plan- Area C-1 with attached sheet A701- Flooring Plan-Area C-1.

ADD 3-4: Replace entire sheet A702- Flooring Plan- Area D-1 with attached sheet A702- Flooring Plan-Area D-1.

ADD 3-5: Replace entire sheet A103- Floor Plan- Area C-1 with attached sheet A103-Floor Plan- Area C-1.

ADD 3-6: Replace entire sheet A105- Floor Plan- Area D-1 with attached sheet A105- Floor Plan- Area D-1.

ADD 3-7: Where new construction/replacement is occurring, including but not limited to flooring, partitions, plumbing fixtures, mechanical work; the existing flooring / mastic, partitions, plumbing fixtures, mechanical work will need to be demolished and removed to allow for new installations. The new flooring will be laid on bare concrete subfloor, clear of debris, mastic and dust to allow for proper adhesion.

ADD 3-8: All items called out to be painted will need to be prepped accordingly by the painter to ensure proper adhesion of finish coats per paint/primer manufacturer's recommendation.

ADD 3-9: If access above existing drop ceiling is required, it will be the subcontractor's responsibility to remove and reinstall ceiling tile as required to perform their work. Any scratched or damaged ceiling tile will be replaced by said subcontractor, to match existing.

MEP Plans / Specifications

ADD 3-10: Replace entire sheet P201- Plumbing Plan with attached sheet P201- Plumbing Plan.

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BBN ARCHITECTS INC.

APRIL 6, 2017

REVISED APRIL 13, 2017

SECTION 01 23 00 - ALTERNATES**PART 1 - GENERAL****1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and other Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section includes administrative and procedural requirements for alternates.

1.3 DEFINITIONS

- A. Alternate: An amount proposed by bidders and stated on the Bid Form for certain work defined in the bidding requirements that may be added to or deducted from the base bid amount if the Owner decides to accept a corresponding change either in the amount of construction to be completed or in the products, materials, equipment, systems, or installation methods described in the Contract Documents.
 - 1. Alternates described in this Section are part of the Work only if enumerated in the Agreement.
 - 2. The cost or credit for each alternate is the net addition to or deduction from the Contract Sum to incorporate alternates into the Work. No other adjustments are made to the Contract Sum.

1.4 PROCEDURES

- A. Coordination: Revise or adjust affected adjacent work as necessary to completely integrate work of the alternate into Project.
 - 1. Include as part of each alternate, miscellaneous devices, accessory objects, and similar items incidental to or required for a complete installation whether or not indicated as part of alternate.
- B. Execute accepted alternates under the same conditions as other work of the Contract.
- C. Schedule: A schedule of alternates is included at the end of this Section. Specification Sections referenced in schedule contain requirements for materials necessary to achieve the work described under each alternate.

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PART 2 - PRODUCTS (Not Used)**PART 3 - EXECUTION****3.1 SCHEDULE OF ALTERNATES**

A. Alternate No. 1: Provide new locker installations.

Alt. 1- For Ph1,
BP1-WMS Locker
Replacement project,
ONLY. This has
already been awarded.

1. Base Bid: Furnish and install new lockers to replace existing lockers as indicated on Drawings A101 through A106 and as specified in Section 10 51 13 "Metal Lockers."
2. Alternate: Furnish and install "Added" lockers in new locations as indicated on Drawing A103, Floor Plan Area C-1 and as specified in Section 10 51 13 "Metal Lockers."

B. Alternate No. 2: Coating system for standing seam metal roofing panels:

1. Base Bid: Provide three-coat fluoropolymer finish on exposed surfaces of metal roof panels according to AAMA 621, as follows:
 - a. Primer: ~~0.8 mil nominal~~ **0.20 +/- 0.05 mil.**
 - b. Color Coat: ~~0.8-0.75~~ **+/- 0.05** mil polyvinylidene fluoride.
 - c. Clear Coat: ~~0.8~~ **0.75 +/- 0.05** mil polyvinylidene fluoride.
2. Alternate: Provide two-coat fluoropolymer finish on exposed surfaces of metal roof panels according to AAMA 621, as follows:
 - a. Primer: ~~0.8 mil nominal~~ **0.2 +/- 0.05 mil.**
 - b. Color Coat: ~~0.8~~ **0.75 +/- 0.05** mil polyvinylidene fluoride.

END OF SECTION 01 23 00

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SECTION 07 01 50 - PREPARATION FOR REROOFING**PART 1 - GENERAL****1.1 RELATED DOCUMENTS**

- A. Drawings and general provisions of the Contract, including General and Supplementary Conditions and Division 01 Specification Sections, apply to this Section.

1.2 SUMMARY

- A. Section Includes:
1. Full tear-off of roof system at areas indicated on Drawings.
 2. Removal of flashings, counterflashings, insulation, fasciae, gutters and downspouts.
 3. Temporary roofing.
- B. Related Requirements:
1. Section 01 10 00 "Summary" for use of premises and for phasing requirements.
 2. Section 01 22 00 "Unit Prices" for repair or replacement of existing steel roof deck.
 3. Section 01 50 00 "Temporary Facilities and Controls" for temporary construction and environmental-protection measures for reroofing preparation.

1.3 DEFINITIONS

- A. Full Roof Tear-off: Removal of existing roofing system down to existing metal roof deck, except for wood blocking that is in good condition.
- B. Roofing Terminology: Definitions in ASTM D 1079 and glossary of NRCA's "The NRCA Roofing Manual: Membrane Roof Systems" apply to work of this Section.
- C. Roof Re-Cover Preparation: Existing roofing system is to remain and be prepared for new roof installed over it.

1.4 PREINSTALLATION MEETINGS

- A. Preliminary Roofing Conference: Before starting removal Work, conduct conference at Project site.
1. Meet with Owner, Architect, Construction Manager, Owner's insurer if applicable, roofing Installer, and installers whose work interfaces with or affects roofing, including installers of roof accessories and roof-mounted equipment.
 2. Review methods and procedures related to roofing tear-off, including, but not limited to, the following:

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- a. Reroofing preparation, including roofing system manufacturer's written instructions.
- b. Temporary protection requirements for existing roofing system components that are to remain.
- c. Construction schedule and availability of materials, Installer's personnel, equipment, and facilities needed to avoid delays.
- d. Sequence of activities and duration between activities.
- e. Existing roof deck conditions requiring Architect notification.
- f. Condition and acceptance of existing roof deck and base flashing substrate for reuse.
- g. Structural loading limitations of roof deck during reroofing.
- h. Base flashings, special roofing details, drainage, penetrations, equipment curbs, and condition of other construction that affect reroofing.
- i. Governing regulations and requirements for insurance and certificates if applicable.
- j. Existing conditions that may require Architect notification before proceeding.
- k. Site use and access.

1.5 ACTION SUBMITTALS

- A. Product Data: For each type of product.

1.6 INFORMATIONAL SUBMITTALS

- A. Field Test Reports:
 1. Fastener pull-out test report.
- B. Equipment Loads: Provide dynamic and uniformly distributed loads for rooftop equipment to be used on adjacent roof areas.
- C. Photographs or Videotape: Show existing conditions of adjoining construction and site improvements, including exterior and interior finish surfaces, that might be misconstrued as having been damaged by reroofing operations.
 1. Submit before Work begins.
- D. Landfill Records: Indicate receipt and acceptance of demolished roofing materials and hazardous wastes, such as asbestos-containing materials, by a landfill facility licensed to accept them.

1.7 QUALITY ASSURANCE

- A. Regulatory Requirements:
 1. Comply with governing EPA notification regulations before beginning roofing removal.
 2. Comply with hauling and disposal regulations of authorities having jurisdiction.

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1.8 FIELD CONDITIONS

- A. Existing Roofing System: Standing seam metal roofing with phenolic insulation.
- B. Owner will occupy portions of building immediately below reroofing area.
 - 1. Conduct reroofing so Owner's operations are not disrupted.
 - 2. Provide Owner with not less than 72 hours' written notice of activities that may affect Owner's operations.
 - 3. Coordinate work activities daily with Owner so Owner has adequate advance notice to place protective dust and water-leakage covers over sensitive equipment and furnishings, shut down HVAC and fire-alarm or -detection equipment if needed, and evacuate occupants from below work area.
 - 4. Before working over structurally impaired areas of deck, notify Owner to evacuate occupants from below affected area.
 - a. Verify that occupants below work area have been evacuated before proceeding with work over impaired deck area.
- C. Protect building to be reroofed, adjacent buildings, walkways, site improvements, exterior plantings, and landscaping from damage or soiling from reroofing operations.
- D. Conditions existing at time of inspection for bidding will be maintained by Owner as far as practical.
 - 1. Construction Drawings and Project Manual for existing roofing system are available for Contractor's convenience and information, but they are not a warranty of existing conditions. They are intended to supplement rather than serve in lieu of Contractor's own investigations. Contractor is responsible for conclusions derived from existing documents.
 - a. Contact the Architect for access to these documents.
- E. Limit construction loads on existing roof areas to remain. Provide loads for rooftop equipment to be used on roof areas for review by Structural Engineer.
- F. Weather Limitations: Proceed with reroofing preparation only when existing and forecasted weather conditions permit Work to proceed without water entering existing roofing system or building.
 - 1. Remove only as much roofing in one day as can be made watertight in the same day.
- G. Hazardous Materials: It is not expected that hazardous materials, such as asbestos-containing materials, will be encountered in the Work.
 - 1. Hazardous materials will be removed by Owner before start of the Work.
 - 2. Existing roof will be left no less watertight than before removal.
 - 3. If materials suspected of containing hazardous materials are encountered, do not disturb; immediately notify Architect and Owner.

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- a. Hazardous materials will be removed by Owner under a separate contract.

PART 2 - PRODUCTS**2.1 TEMPORARY ROOFING MATERIALS**

- A. Design and selection of materials for temporary roofing are Contractor's responsibilities.
- B. Sheathing Paper: Red-rosin type, minimum 3 lb/100 sq. ft. (0.16 kg/sq. m).
- C. Base Sheet: ASTM D 4601/D 4601M, Type II, nonperforated, asphalt-impregnated and -coated, glass-fiber sheet.
- D. Glass-Fiber Felts: ASTM D 2178/D 2178M, Type IV, asphalt-impregnated, glass-fiber felt.
- E. Asphalt Primer: ASTM D 41/D 41M.
- F. Roofing Asphalt: ASTM D 312/D 312M, Type III or IV.
- G. Base Sheet Fasteners: Capped head, factory-coated steel fasteners, listed in FM Approvals' RoofNav.

PART 3 - EXECUTION**3.1 PREPARATION**

- A. Protection of In-Place Conditions:
 1. Protect existing roofing system that is not to be reroofed.
 2. Limit traffic and material storage to areas of existing roofing that have been protected.
 3. Maintain temporary protection and leave in place until replacement roofing has been completed. Remove temporary protection on completion of reroofing.
 4. Comply with requirements of existing roof system manufacturer's warranty requirements.
- B. Seal or isolate windows that may be exposed to airborne substances created in removal of existing materials.
- C. Protect vents and flues. Do not block systems requiring venting.
- D. Coordinate with Owner to shut down air-intake equipment in the vicinity of the Work.
 1. Cover air-intake louvers before proceeding with reroofing work that could affect indoor air quality or activate smoke detectors in the ductwork.
- E. During removal operations, have sufficient and suitable materials on-site to facilitate rapid installation of temporary protection in the event of unexpected rain.

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3.2 ROOF TEAR-OFF

- A. Notify Owner each day of extent of roof tear-off proposed for that day and obtain authorization to proceed.
- B. Lower removed roofing materials to ground and onto lower roof levels, using dust-tight chutes or other acceptable means of removing materials from roof areas.
- C. Remove protection mat and phenolic insulation.
 - 1. Discard phenolic insulation.
- D. Full Roof Tear-off: Where indicated on Drawings, remove existing roofing and other roofing system components down to the existing roof deck.
 - 1. Remove standing seam metal roofing, roof insulation, vapor barrier, and other accessories down to existing metal roof deck.
 - 2. Remove base flashings and counter flashings.
 - 3. Remove flashings at pipes, curbs, mechanical equipment, and other penetrations.
 - 4. Bitumen and felts that are firmly bonded to concrete decks are permitted to remain if felts are dry.
 - 5. Remove fasteners from deck or cut fasteners off slightly above deck surface.
- E. Wood Blocking: Do not remove wood blocking unless inspection indicates deterioration and damage.
 - 1. If wood blocking, curbs, or nailers have deteriorated, immediately notify Architect.

3.3 DECK PREPARATION

- A. Inspect deck after tear-off of roofing system.
- B. If broken or loose fasteners that secure deck panels to one another or to structure are observed, or if deck appears or feels inadequately attached, immediately notify Architect.
 - 1. Do not proceed with installation until directed by Architect.
- C. If deck surface is unsuitable for receiving new roofing or if structural integrity of deck is suspect, immediately notify Architect.
 - 1. Do not proceed with installation until directed by Architect.
- D. Replace **unsuitable** steel deck as directed by Architect.
 - 1. Deck replacement will be paid for by adjusting the Contract Sum according to unit prices included in the Contract Documents.
 - 2. Prepare and paint **new** steel deck surface.

E-a. Paint: Rust-Inhibiting Metal Primer (4 mils)

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3.4 INFILL MATERIALS INSTALLATION

- A. Install new roofing patch over roof infill area.
 - 1. If new roofing is installed the same day tear-off is made, roofing patch is not required.

3.5 TEMPORARY ROOFING

- A. Install approved temporary roofing over area to be reroofed.
- B. Remove temporary roofing before installing new roofing.

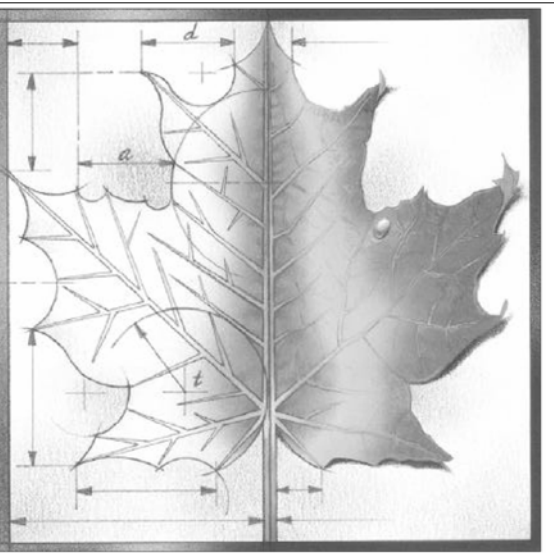
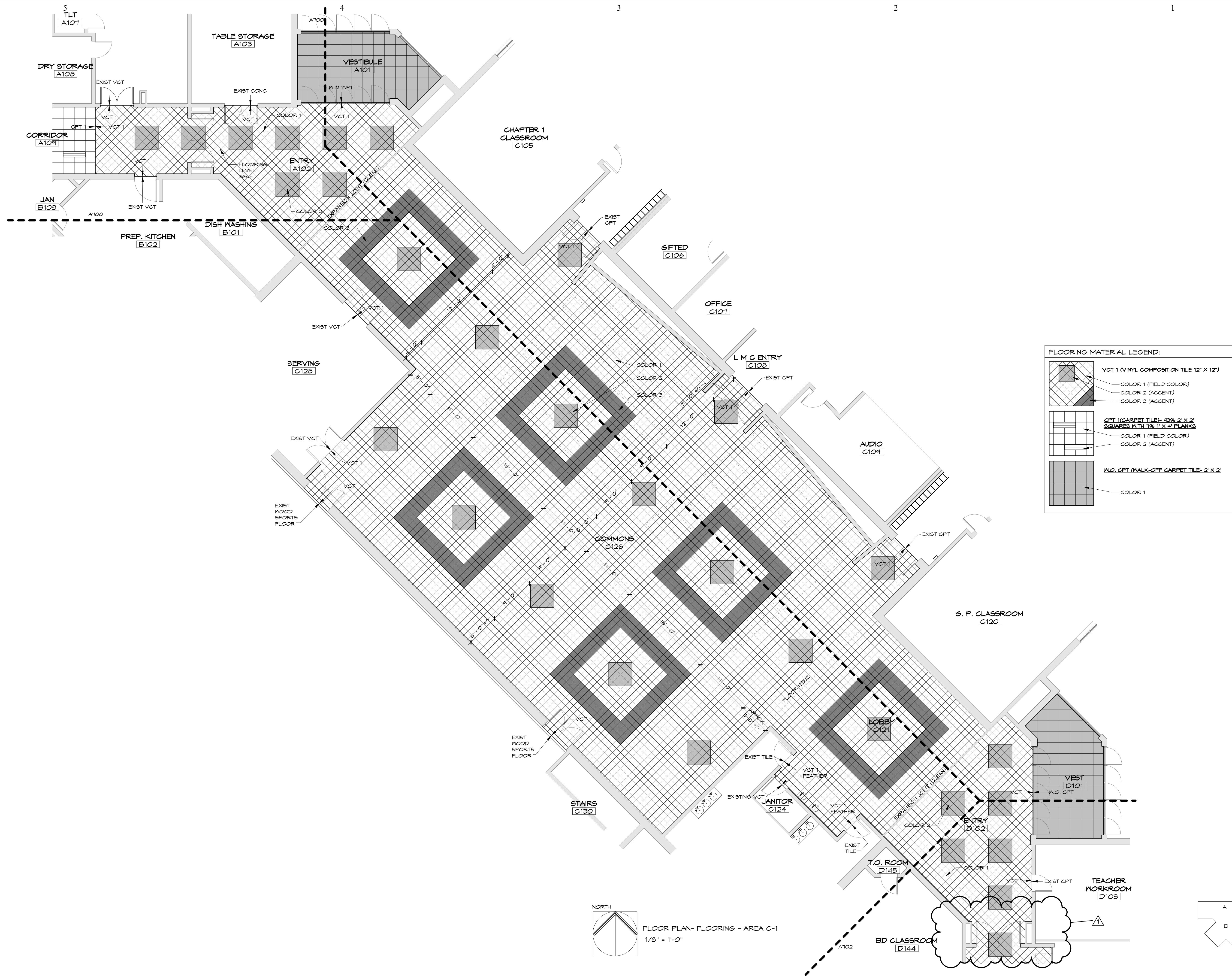
3.6 FASTENER PULL-OUT TESTING

- A. Perform fastener pull-out tests according to SPRI FX-1, and submit test report to Architect and roofing manufacturer before installing new roofing system.
 - 1. Obtain Architect's approval to proceed with specified fastening pattern.
 - a. Roofing manufacturer may furnish revised fastening pattern commensurate with pull-out test results.

3.7 DISPOSAL

- A. Collect demolished materials and place in containers.
 - 1. Promptly dispose of demolished materials.
 - 2. Do not allow demolished materials to accumulate on-site.
- B. Transport and legally dispose of demolished materials off Owner's property.

END OF SECTION 07 01 50



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BBN ARCHITECTS INC
228 POYNTZ AVENUE
MANHATTAN, KANSAS 66502
PH: 785-776-4912 - FAX: 785-776-0944
WWW.BBNARCHITECTS.COM

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- FLOORING NOTES:**
- REPAIR AND LEVEL ALL CONCRETE SUBFLOOR AS REQUIRED FOR NEW FLOORING REPLACEMENT.
 - NEW BASE TO BE INSTALLED AT ALL LOCATIONS RECEIVING NEW FLOORING AND NEW LOCKERS. IN THE AREAS WHERE NEW LOCKERS ARE BEING INSTALLED NOT ARE NOT REPLACING LOCKERS (HALLWAYS IN AREA B) ONLY APPLY NEW BASE TO NEW WOOD BASE OF NEW LOCKERS.
 - CLEAN EXISTING EXPANSION JOINTS IN FLOORING.
 - FEATHER CONCRETE SLAB WITH LEVELING COMPOUND AS REQUIRED AT LOCATIONS WHERE OFFSETS BETWEEN DISSIMILAR FLOORING MATERIALS CREATES AN ADA TRANSITION ISSUE.
 - REMOVE EXISTING THRESHOLDS AT DOORS AND AT WOOD GYM FLOOR LOCATIONS FOR PROPER INSTALLATION OF NEW FLOORING. NOTIFY ARCHITECT OF CONDITIONS THAT NEED MODIFICATION TO THRESHOLDS IF ADA REQUIREMENTS CANNOT BE MET.

REV	DESC	DATE
1	CARPET/VCT LINE CHANGE	4/11/17

Project Number: ---
Date: **01/13/16**

Project Name:
USD 320 WAMEGO MIDDLE SCHOOL IMPROVEMENTS

Project Address:
1701 KAW VALLEY ROAD
WAMEGO, KS 66547

Sheet Title:
FLOORING PLAN - AREA C-1

Sheet:
A701

Of:

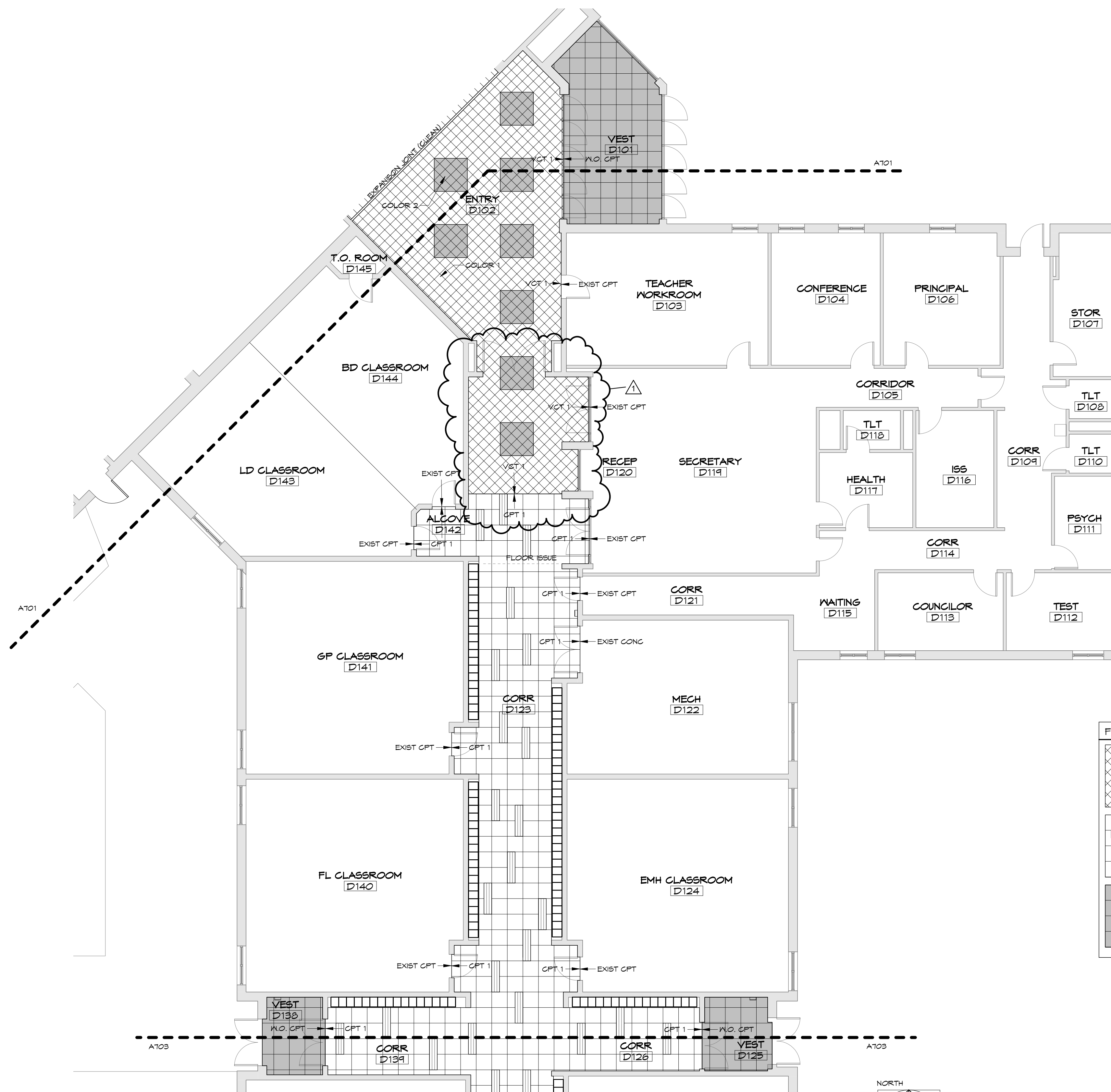
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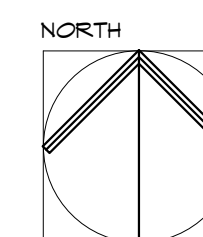
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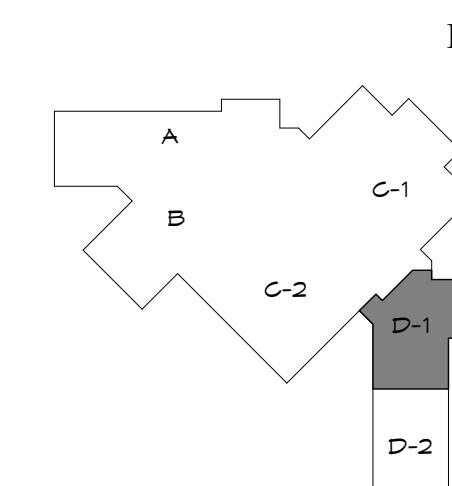


FLOORING MATERIAL LEGEND:

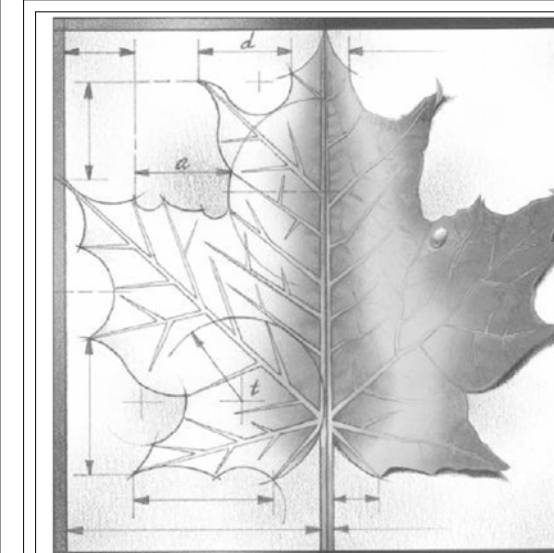
- VCT 1 (VINYL COMPOSITION TILE 12" X 12")
 - COLOR 1 (FIELD COLOR)
 - COLOR 2 (ACCENT)
 - COLOR 3 (ACCENT)
- CPT 1 (CARPET TILE) - 36" 2' X 2' SQUARES WITH 1" X 4" PLANKS
 - COLOR 1 (FIELD COLOR)
 - COLOR 2 (ACCENT)
- W.O. CPT (WALK-OFF CARPET TILE- 2' X 2')
 - COLOR 1



FLOOR PLAN- FLOORING - AREA D-1
1/8" = 1'-0"



KEY PLAN- NTS



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228 POYNTZ AVENUE
MANHATTAN, KANSAS 66502
PH: 785-776-4912 - FAX: 785-776-0944
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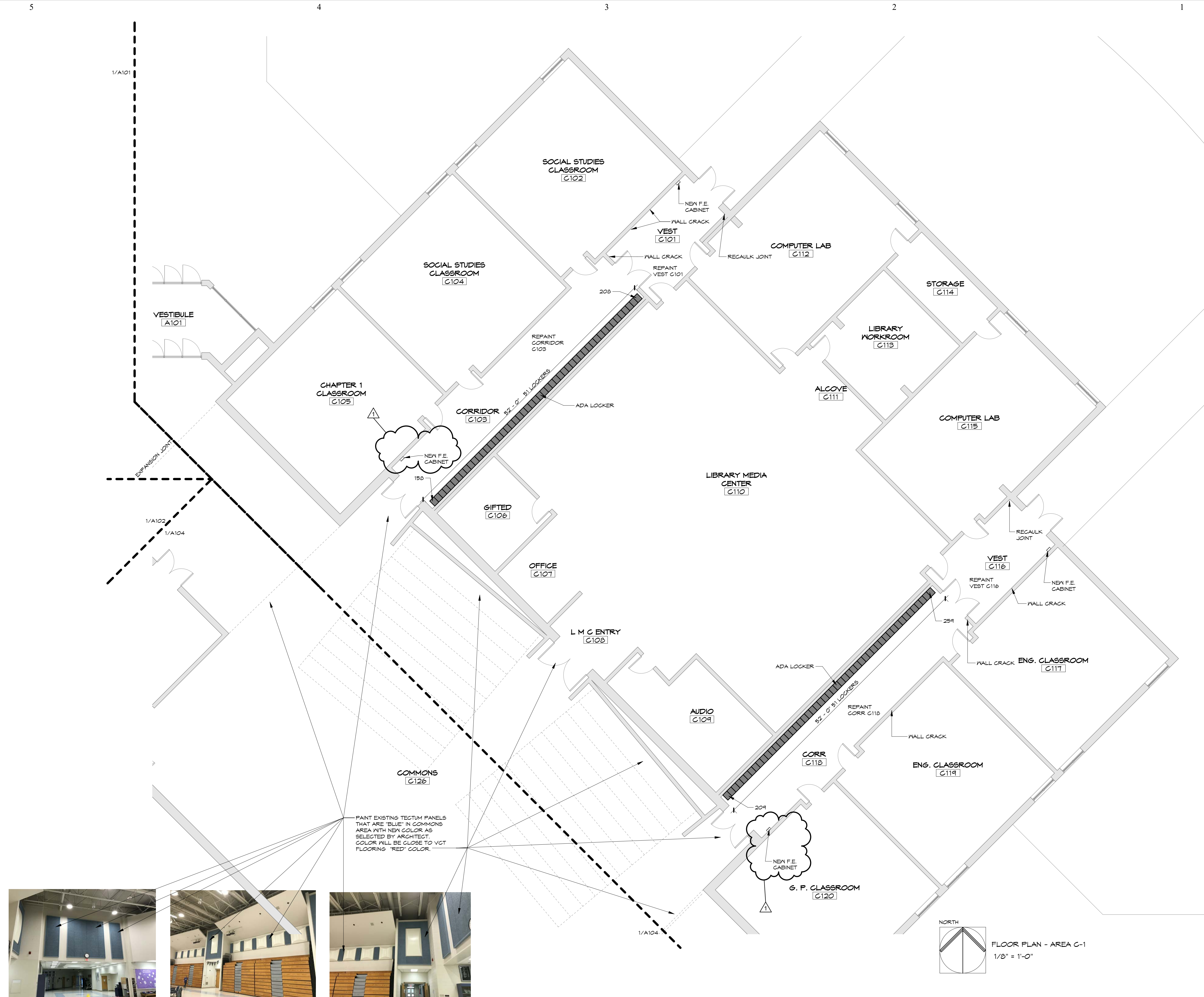
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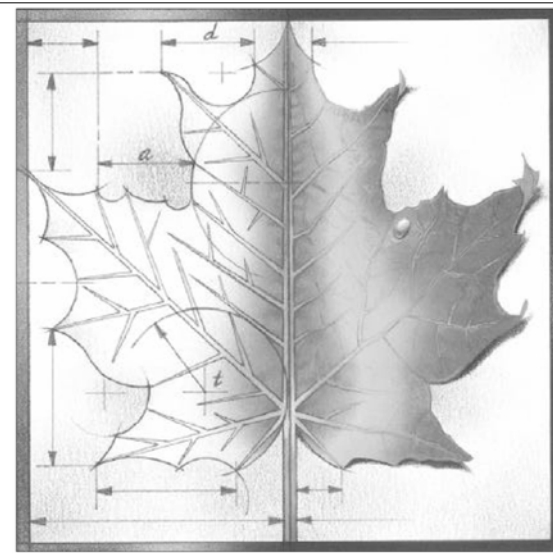
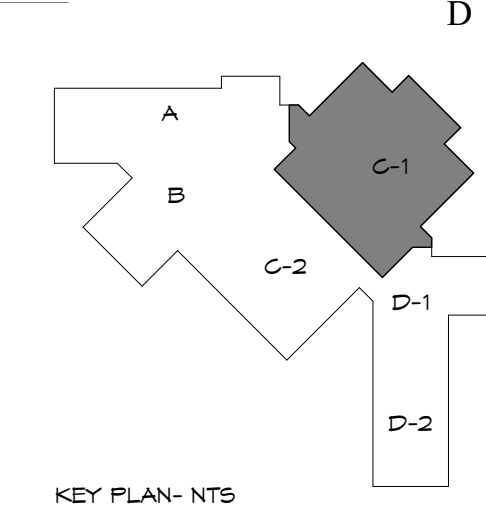
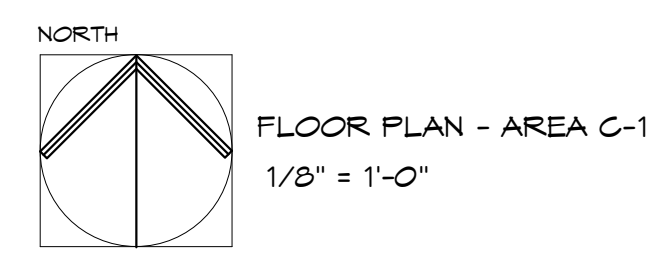
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FLOORING PLAN - AREA D-1

Sheet:
A702

Of:



PAINT EXISTING TECTUM PANELS THAT ARE 'BLUE' IN COMMONS AREA WITH NEW COLOR AS SELECTED BY ARCHITECT. COLOR WILL BE CLOSE TO VGT FLOORING - 'RED' COLOR.



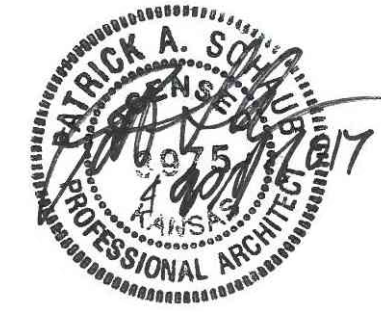
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- GENERAL NOTES:
1. PATCH CONCRETE BLOCK HOLES AND PAINT WALLS AROUND REPLACED DRINKING FOUNTAINS AS REQUIRED. SEE MEP PLANS FOR DRINKING FOUNTAIN LOCATIONS AND INFORMATION.
 2. ON INDICATED LOCATIONS ON PLANS, FILL WALL CRACKS WITH A HIGH MODULUS PAINTABLE SEALANT AND ALL CONTROL JOINTS WITH LOW MODULUS PAINTABLE SEALANT. PAINT THE SEALANT AND WALLS. PAINT CORRIDOR WITH NEW COLOR AS SELECTED BY ARCHITECT. SEE SPECIFICATIONS FOR PAINT REQUIREMENTS.
 3. PAINT ALL RESTROOMS WALLS WHERE TOILET PARTITIONS AND NEW LAVATORIES ARE INSTALLED. PAINT WALLS WITH COLOR AS SELECTED BY ARCHITECT. SEE SPECIFICATIONS FOR PAINT REQUIREMENTS. IN LOCKER ROOMS, PAINT WALL AS INDICATED ON PLANS.

REV	DESC	DATE
1	FIRE EXTINGUISHER CABINETS	4/7/17



Project Number: ---
Date: 01/13/16

Project Name:
USD 320 WAMEGO MIDDLE SCHOOL IMPROVEMENTS
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1701 KAW VALLEY ROAD
WAMEGO, KS 66547

Sheet Title:
**FLOOR PLAN
AREA C-1**

Sheet:
A103
Of:

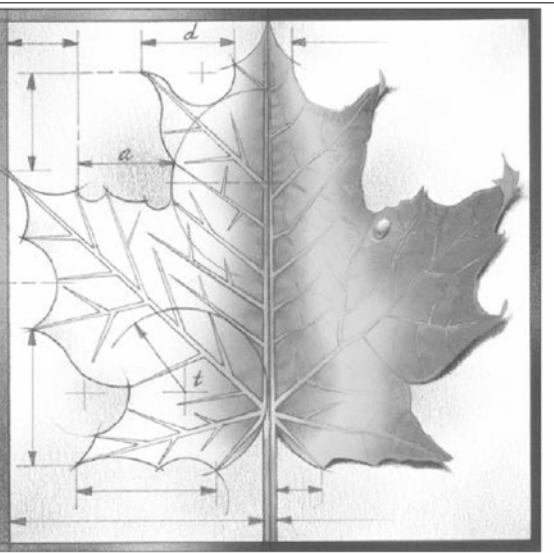
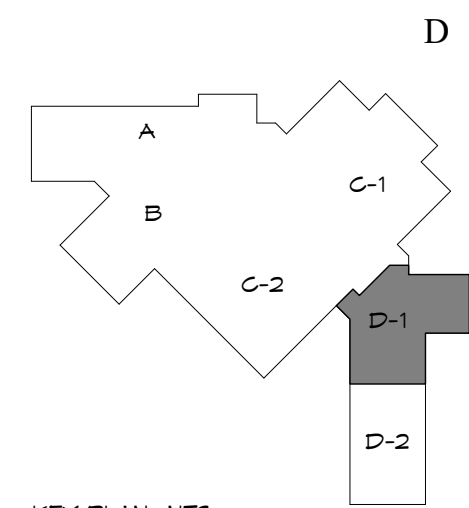
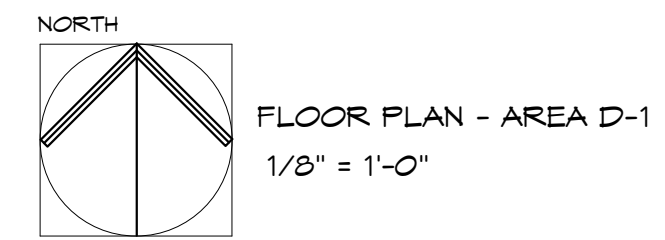
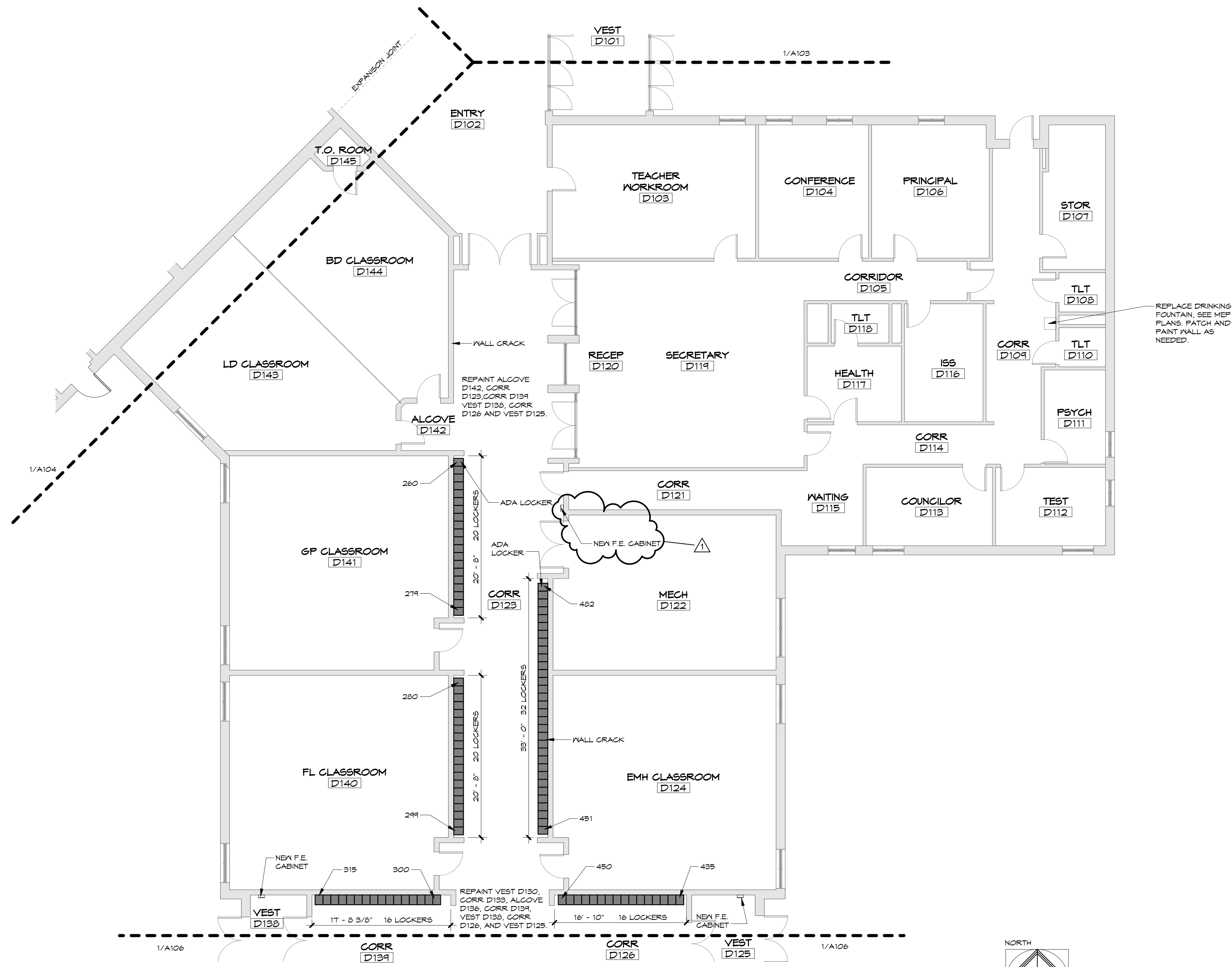
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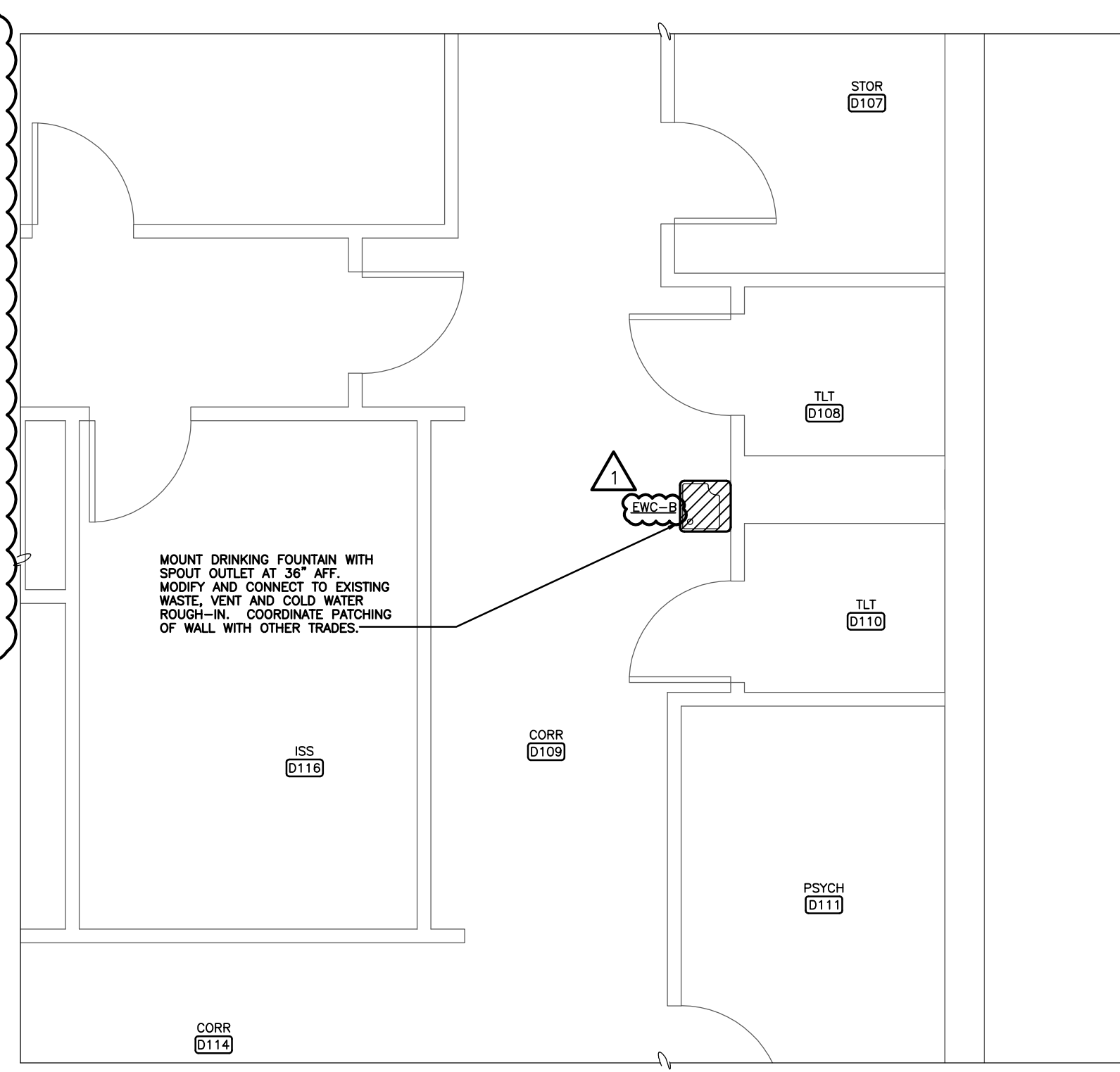
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WAMEGO, KS 66547

Sheet Title:
**FLOOR PLAN
AREA D-1**

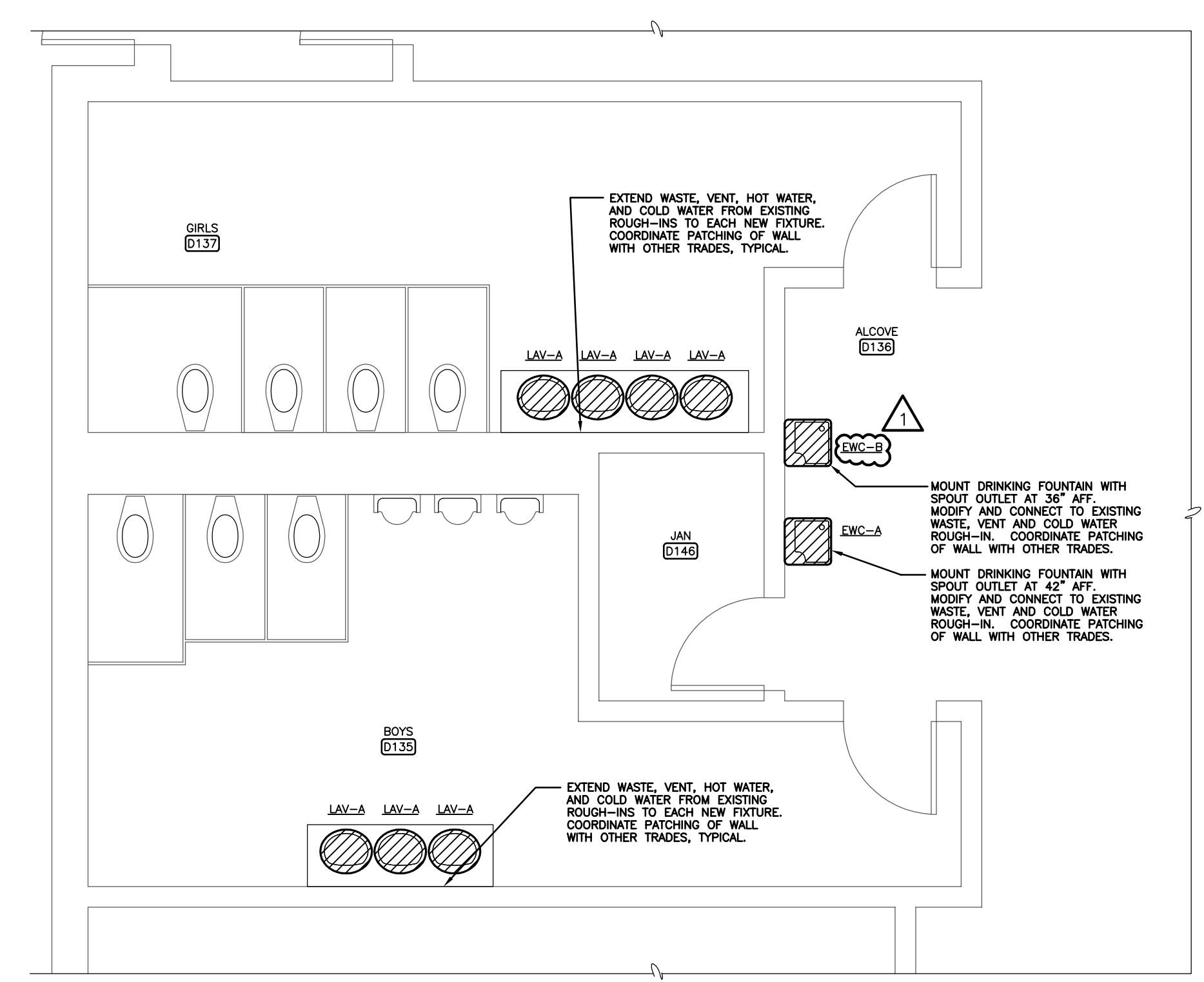
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A105

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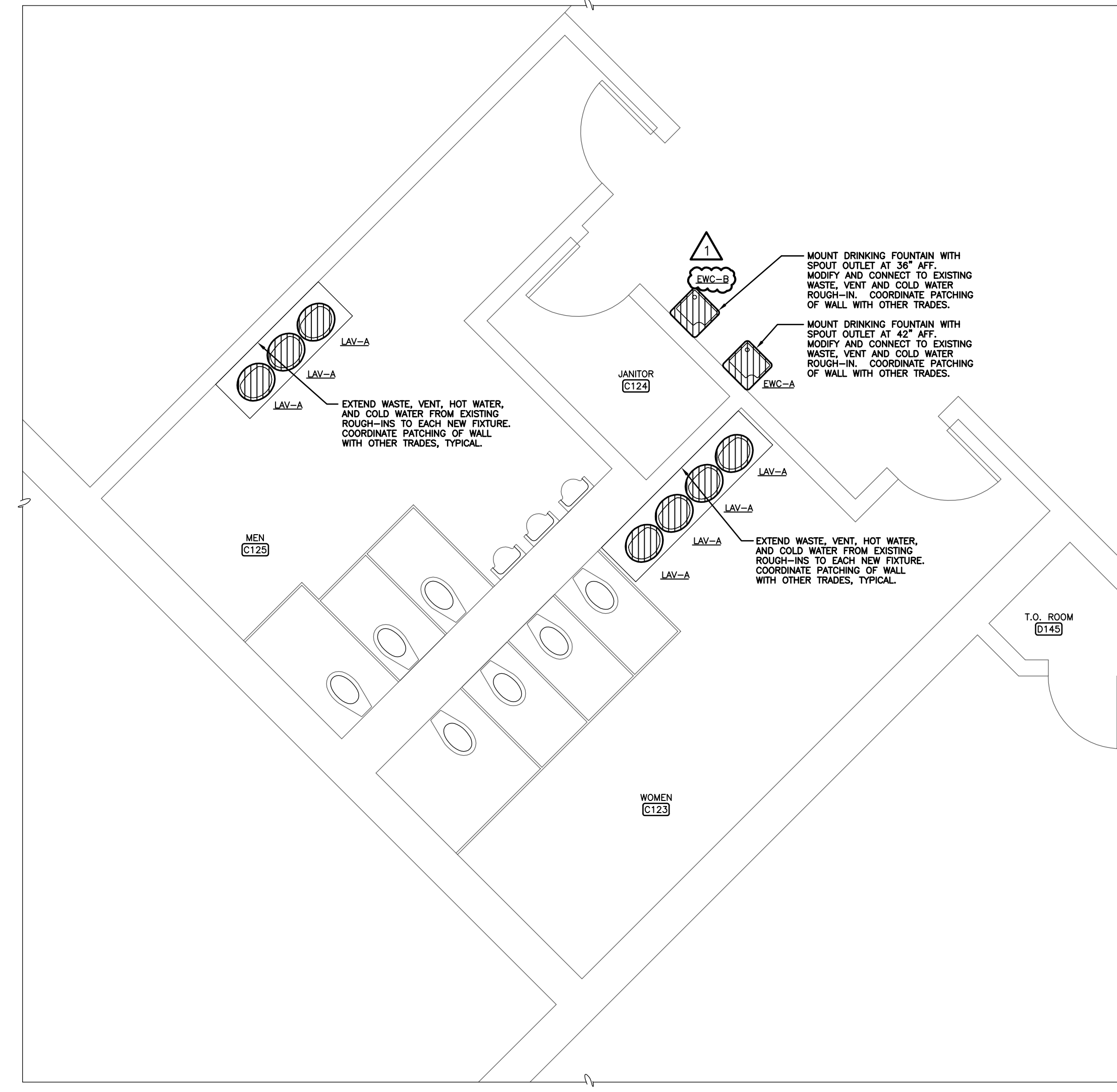
PLUMBING EQUIPMENT SCHEDULE	
General Notes:	
1. For fixtures marked (ADA), fixture, trim, mounting dimensions and installation shall meet the requirements of the 2010 Americans With Disabilities Act.	
2. Coordinate fixture locations with Architectural plans and elevations prior to rough-in.	
3. All fixtures shall be provided with vandal resistant trim.	
4. Provide carrier required for complete installation of fixture.	
LAV-A (ADA)	Zurn 5124 self-rimming round vitreous china lavatory, 19" outside diameter, front overflow. Trim with Zurn Z6930-XL-F-HWS-TMV-1 single hole faucet with infrared convergence type proximity sensing, infrared sensor location shall not be detectable by user, remote solenoid valve, chrome finish, hardwired power converter for 120 v operation, thermostatic mixing valve, lead free construction, 0.5 gpm flow control, grid drain, Dearborn supplies with stops and escutcheon plates, Dearborn #760W 17 ga. offset tailpiece with 1-1/4" cast brass P-trap with cleanout plug. Fixture color: White. Insulate water and waste piping below lavatory with manufactured piping covers consisting of flexible vinyl insulation with white finish and access to piping, equivalent to Handi Lav-Guard manufactured by Truebro Inc.
FWC-A (ADA)	Halsey Taylor HACBFSC wall hung electric drinking fountain with front mounted vandal proof push-bars, stainless steel cover, 3/8" stop in supply line, 1-1/4" 17 gauge P-trap with cleanout plug. Cooler shall have capacity to cool 8.0 GPH from 90 degrees F to 50 degrees F at 90 degrees F room temperature. Electrical Characteristics: 120 volt/1 phase, 4.8 F.L.A.
FWC-B (ADA)	Halsey Taylor HACBFSC wall hung electric drinking fountain with bottle filler and front mounted vandal proof push-bars, stainless steel cover, 3/8" stop in supply line, 1-1/4" 17 gauge P-trap with cleanout plug. Cooler shall have capacity to cool 8.0 GPH from 80 degrees F to 50 degrees F at 90 degrees F room temperature. Electrical Characteristics: 120 volt/1 phase, 4.8 F.L.A.



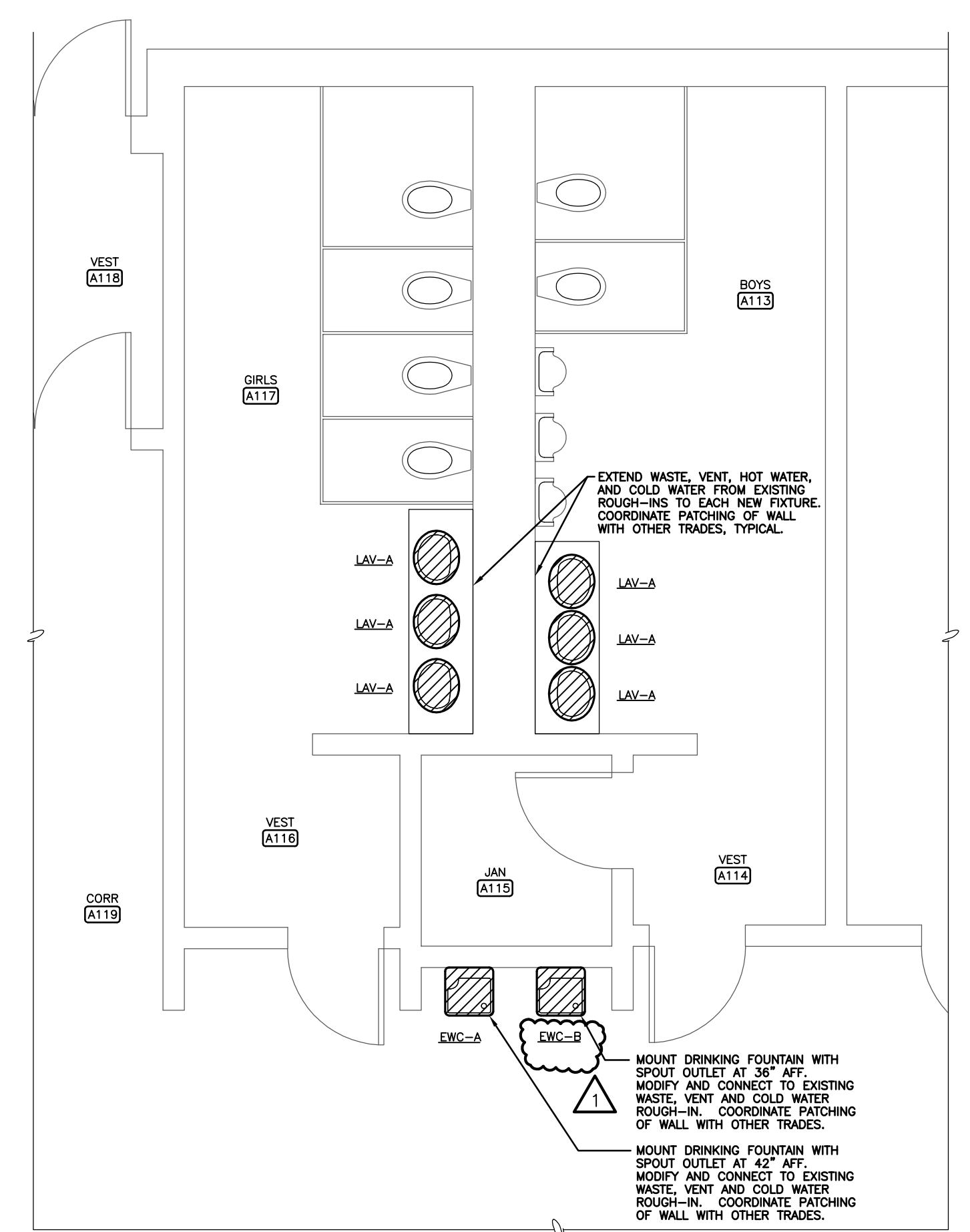
PARTIAL PLAN - PLUMBING - AREA 4
1/4" = 1'-0"



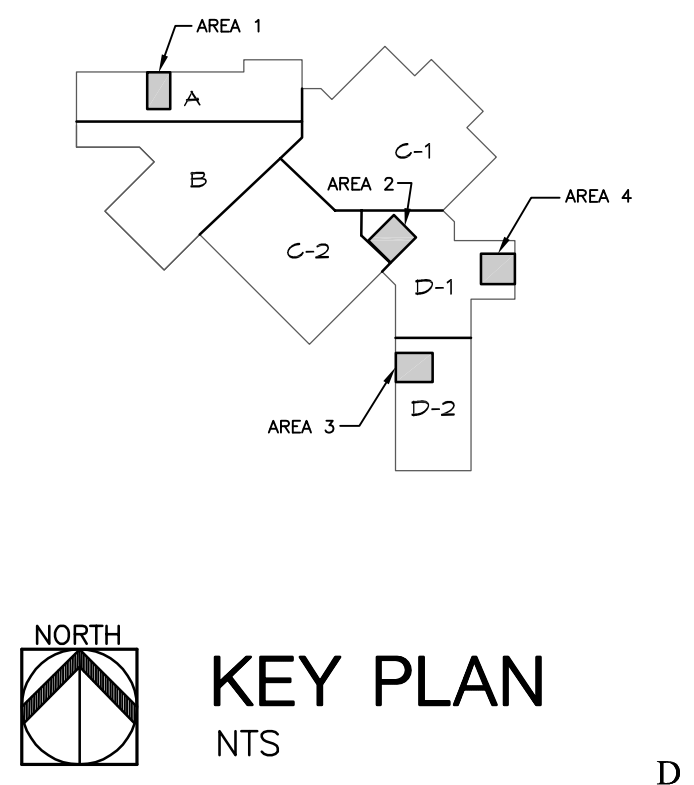
PARTIAL PLAN - PLUMBING - AREA 3
1/4" = 1'-0"



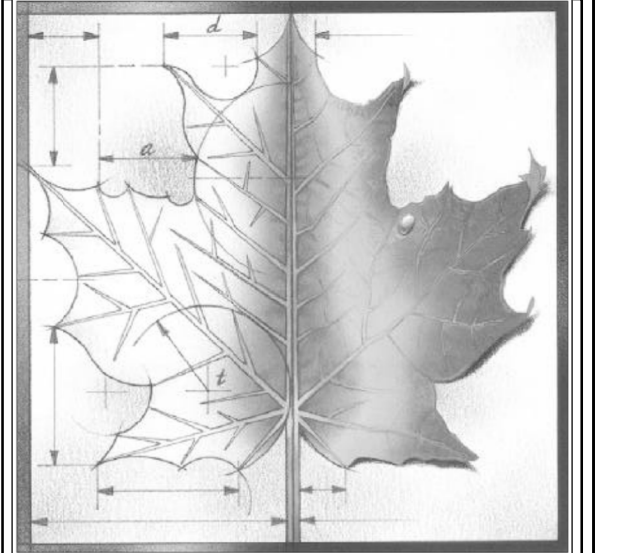
PARTIAL PLAN - PLUMBING - AREA 2
1/4" = 1'-0"



PARTIAL PLAN - PLUMBING - AREA 1
1/4" = 1'-0"



KEY PLAN
NTS



BBN

BBN ARCHITECTS INC
228 POYNTZ AVENUE
MANHATTAN, KS 66502
PH: 785-776-4912
WWW.BBNARCHITECTS.COM

Information provided on the drawings regarding existing conditions has been obtained from the best sources available, but cannot be guaranteed in all respects. Contractor shall verify all such information prior to proceeding with any new work that may be affected. Include as part of the contract all work required to produce the indicated result. All drawings and written material appearing herein constitute the original and unpublished work of the Architect, and same may not be duplicated, used or disclosed without the written consent of the Architect.
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REVISIONS:	
▲ 4/11/17	
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▲	
▲	
▲	

Project Number:

Date: **04/04/2017**

Project Name:

USD 320 WAMEGO MIDDLE SCHOOL IMPROVEMENTS

Project Address:

1701 Kaw Valley Road Wamego, KS 66547

Sheet Title:

PLUMBING PLAN

Sheet: **P201**

OF: **12**

ose ORAZEM & SCALORA ENGINEERING, P.A.
Manhattan, Kansas
Job No. 15011-1
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